

ZONING CHANGE FOR 2300 BUILDING

2300 SOUTH 10TH AVENUE
SOUTH MILWAUKEE, WISCONSIN

DRAWING INDEX

ID	NAME
G100	COVER SHEET, SITE PLAN
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A100	FIRST AND SECOND FLOOR PLANS
A101	THIRD FLOOR PLAN



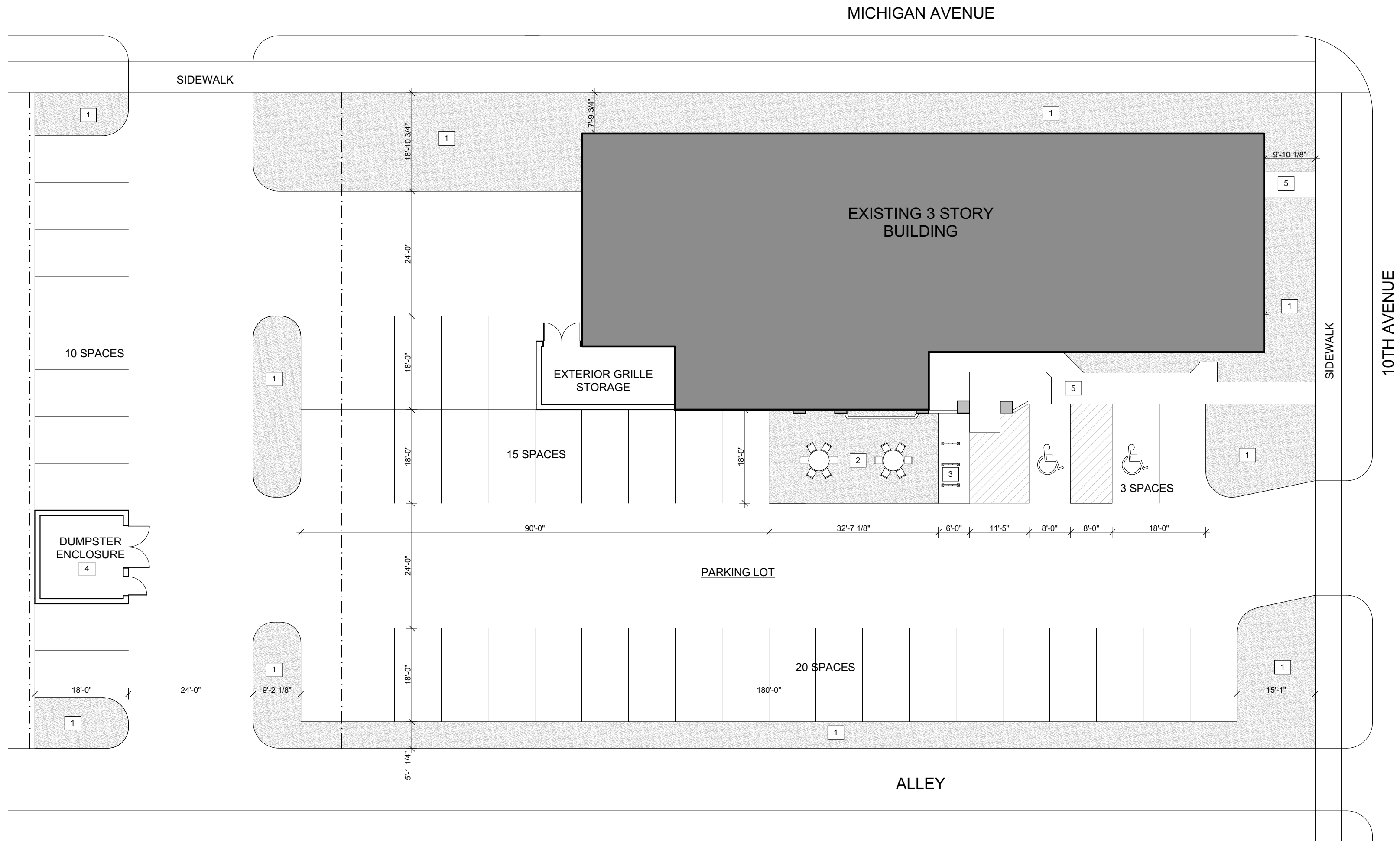
1
G100
EXISTING SOUTH EAST PARTIAL ELEVATION
SCALE: 1:5



4
G100
EXISTING SOUTH WEST PARTIAL ELEVATION
SCALE: 1:5



5
G100
EXISTING WEST BUILDING ELEVATION
SCALE: 1:5



1
G100
NORTH
ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN NOTES

- 1 PLANTING AREA
- 2 TENANT GRILLING AREA
- 3 BICYCLE RACKS
- 4 NEW MASONRY DUMPSTER ENCLOSURE
- 5 EXISTING CONCRETE SIDEWALK

SITE AREA DATA

SITE AREA	31,155 SF
GREEN SPACE	5,956 SF
PERCENTAGE OF GREEN SPACE	20%
PARKING SPACES	48
UNIT PARKING RATIO	1.5 PER UNIT
PARKING ALLOTTED FOR BUILDING	36 SPACES

2300 BUILDING
2300 SOUTH 10TH AVENUE SOUTH MILWAUKEE, WI

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ZONING SUBMITTAL
DATE
5-18-21

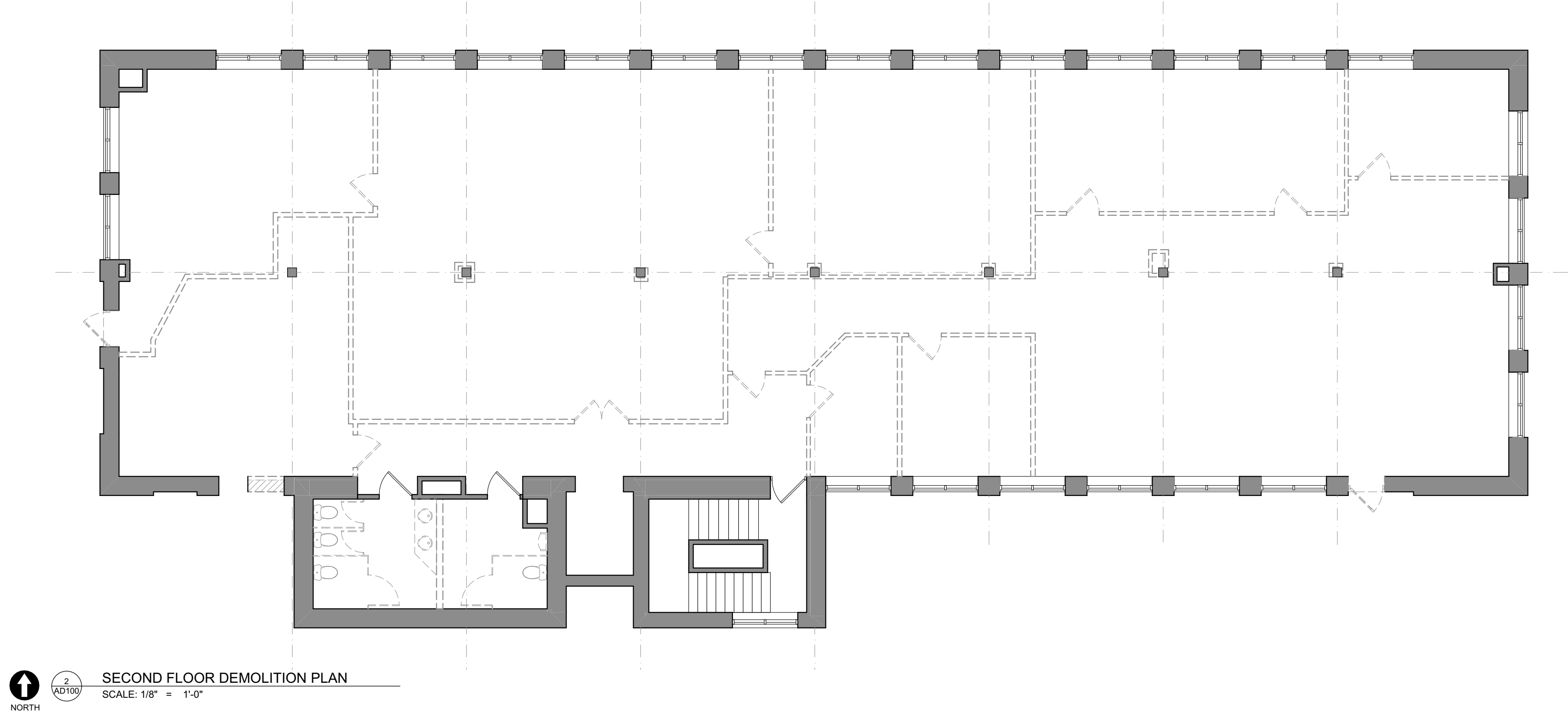
PROJECT #
21025

COVER SHEET,
SITE PLAN

G100

2300 BUILDING

2300 SOUTH 10TH AVENUE SOUTH MILWAUKEE, WI

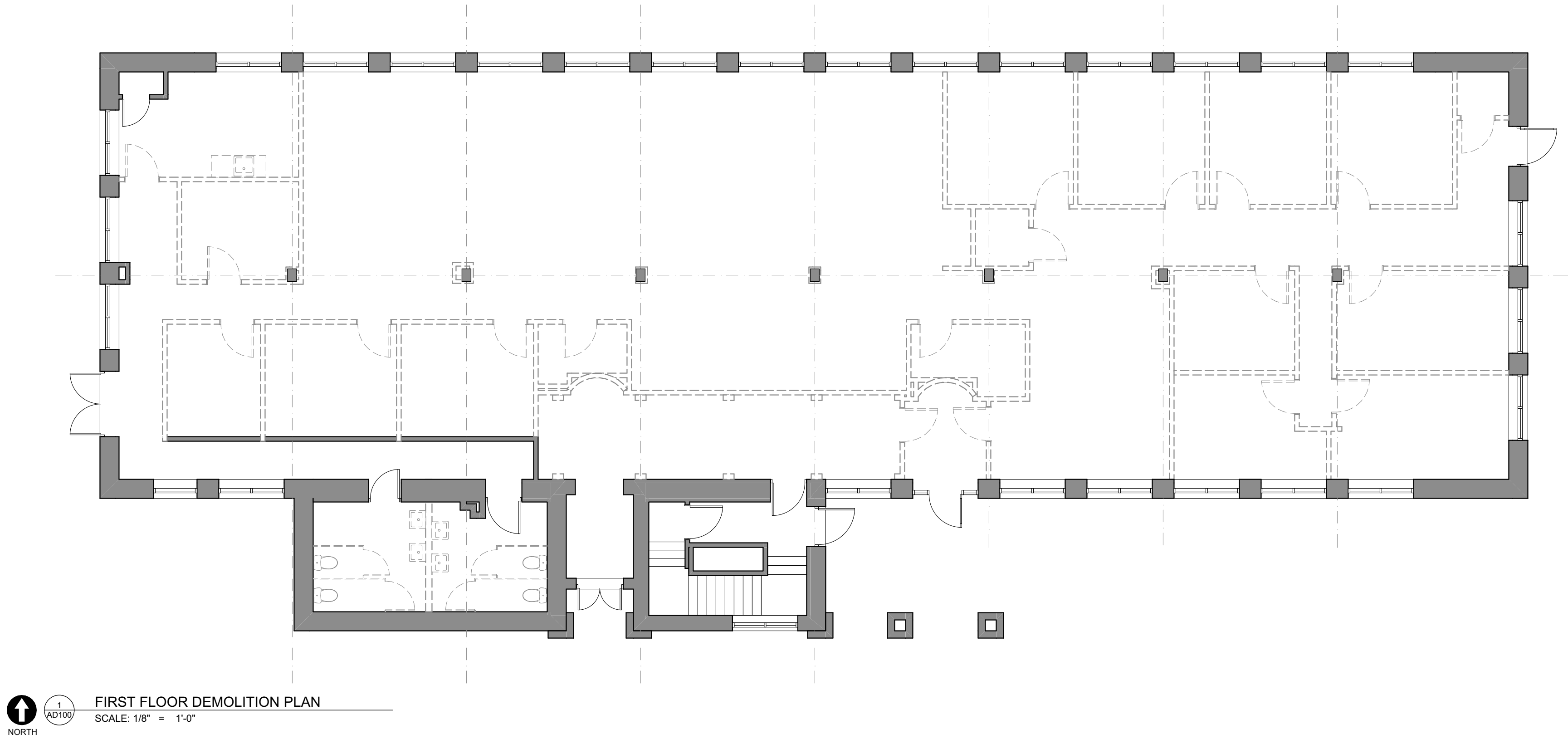


2

AD100

SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

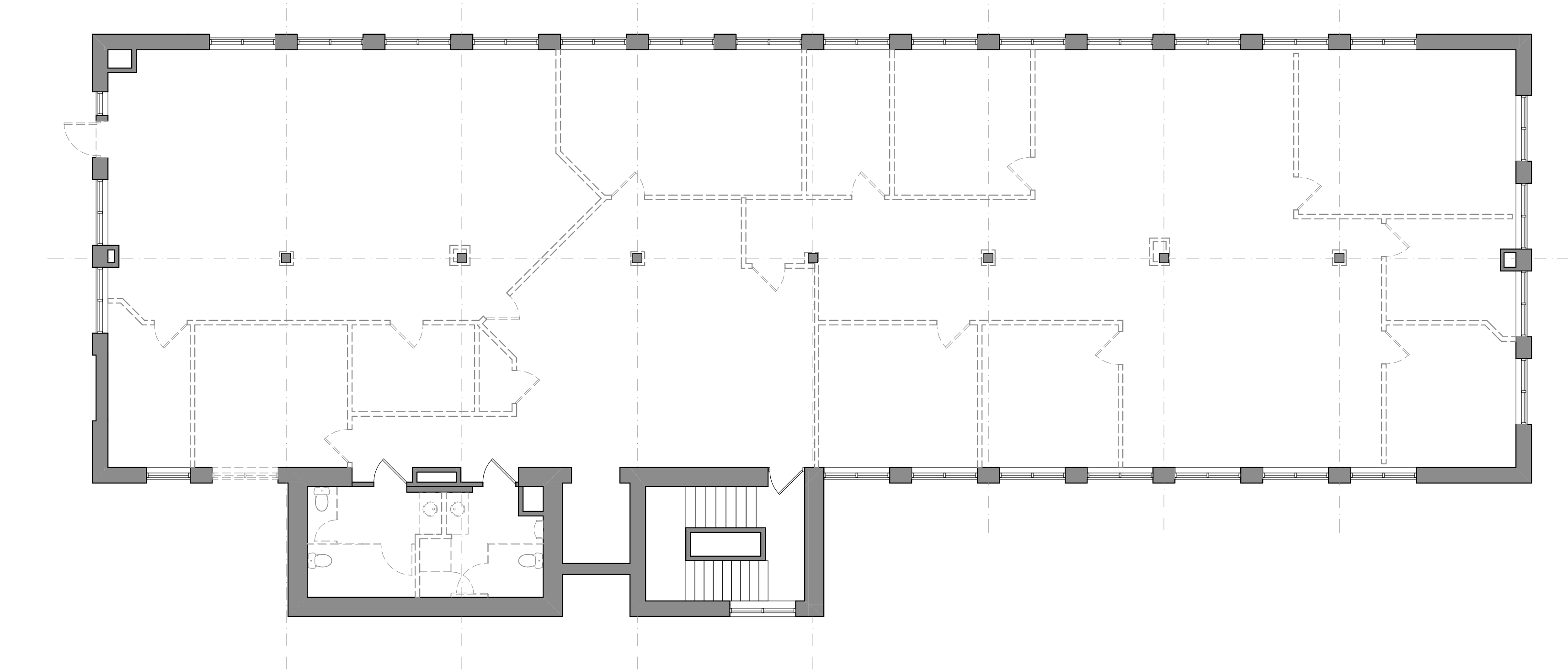


1

AD100

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



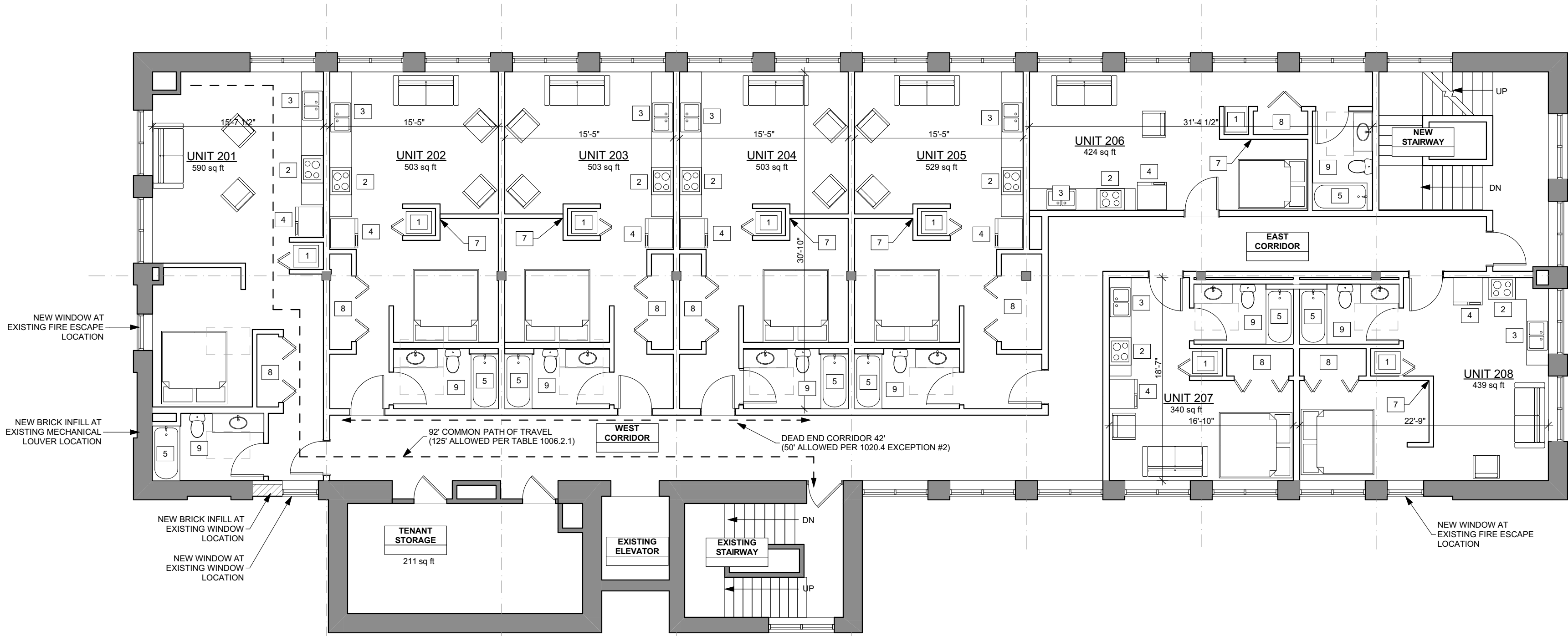
  **THIRD FLOOR DEMOLITON PLAN**
SCALE: 1/8" = 1'-0"

2300 BUILDING

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TABULATION OF UNITS			
UNIT	STUDIO	1 BR	SQ FT
101	1	0	431
102	0	1	444
103	0	1	444
104	0	1	476
105	0	1	515
106	1	0	420
107	1	0	335
108	0	1	450
			3,515
201	0	1	590
202	0	1	503
203	0	1	503
204	0	1	503
205	0	1	529
206	1	0	424
207	1	0	340
208	0	1	439
			3,831
301	0	1	613
302	0	1	508
303	0	1	508
304	0	1	508
305	0	1	538
306	1	0	436
307	1	0	340
308	0	1	439
			3,890
TOTAL	7	17	11,236

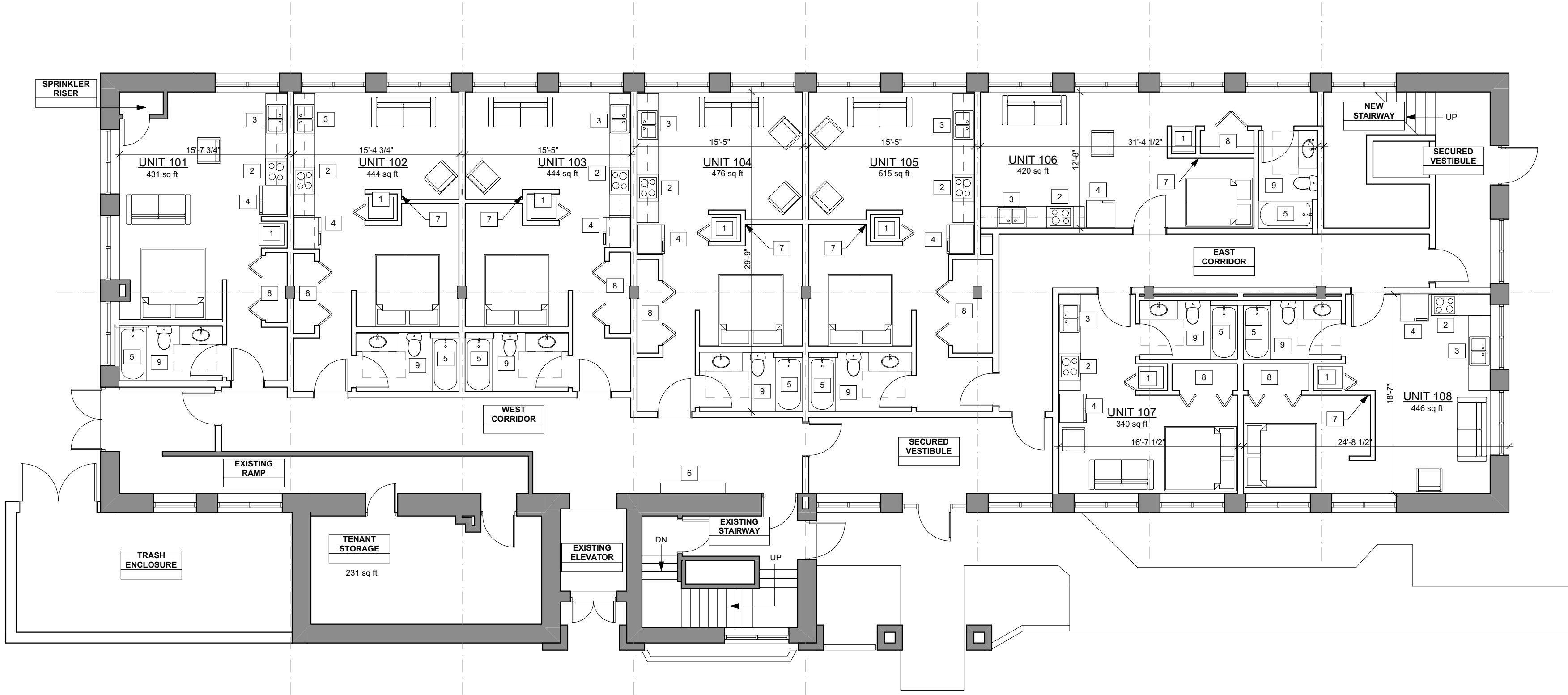
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

- EXISTING TO REMAIN
- NEW PARTITION
- 1 STACKED WASHER / DRYER
- 2 RANGE W/ VENT HOOD AND MICROWAVE ABOVE
- 3 SINK W/ DISPOSAL
- 4 REFRIGERATOR
- 5 FIBERGLASS TUB / SHOWER UNIT
- 6 MAILBOX LOCATION
- 7 7' HIGH PARTITION W/ WOOD CAP
- 8 CLOSET
- 9 BATHROOM WITH MECHANICAL UNIT ABOVE CEILING TO SUPPLY THE UNIT USING SPIRAL DUCTS

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"





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13700 W. GREENFIELD AVE
BROOKFIELD, WI 53005
262-370-5865

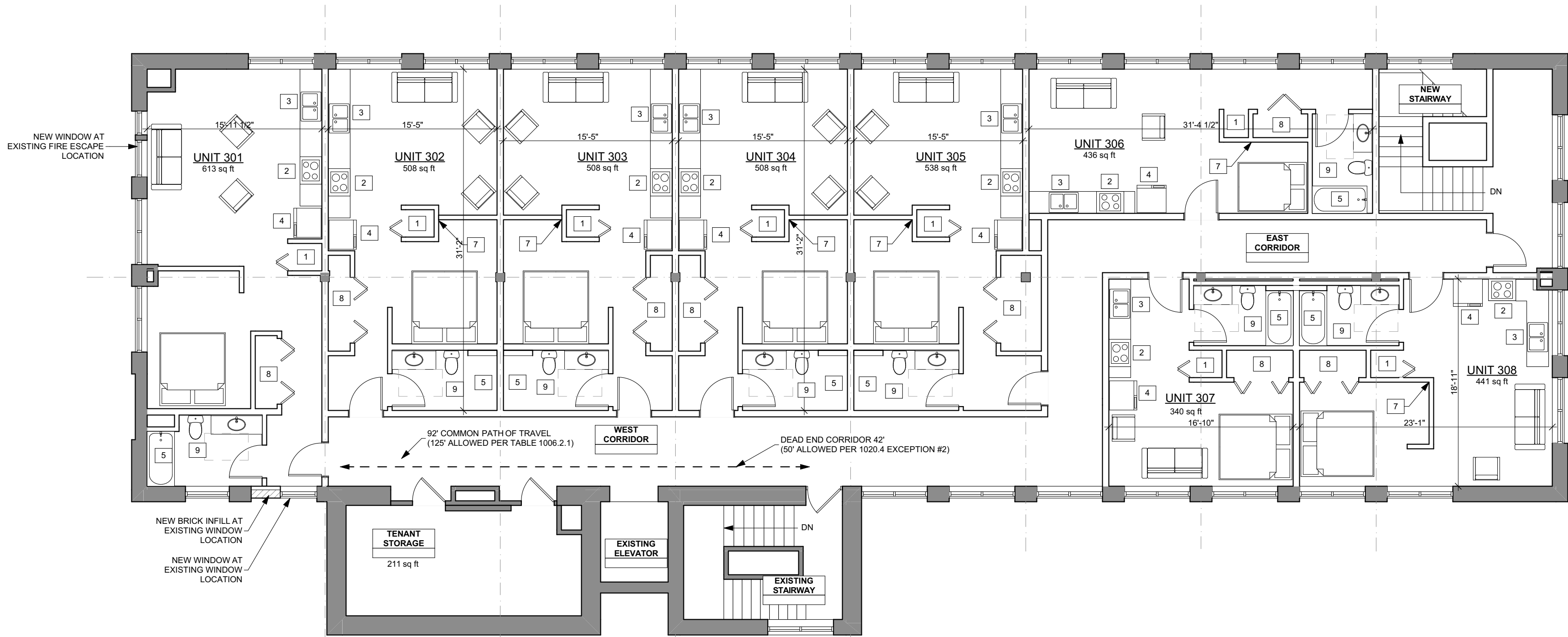
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CONSULTANTS:

2300 BUILDING

2300 SOUTH 10TH AVENUE SOUTH MILWAUKEE, WI

1
A101
NORTH
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

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THIRD FLOOR PLAN

A101

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